

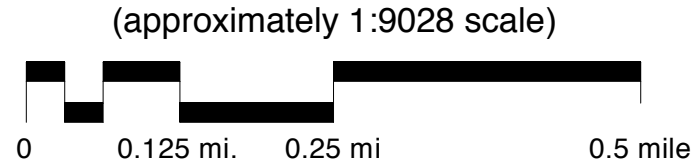


Vicinity Map

1. Subject property shown with hatch.
2. Vicinity map from City of Wilmington zoning map titled "City of Wilmington - Zoning" dated November 29, 2012 AD

WHITE FILL AND ANGLED LINES REPRESENT AREA OF DISTURBANCE

GRAY FILL AND VERTICAL LINES REPRESENT REMAINING PORTION OF SITE TO REMAIN UNDISTURBED



PEARSALL MEMORIAL PRESBYTERIAN
D.B. 1285 PG. 940
ZONING: 08-1
USE: CHURCH

DAVID JONES RENTALS, LLC
D.B. 2549 PG. 450
ZONING: CB
USE: STRIP CENTER

KEARNEY
D.B. 1932 PG. 551
ZONING: CS
USE: SUNROOM SALES

THE LAZARUS GROUP, LLC
D.B. 5655 PG. 723
ZONING: CS
USE: SILVER & GOLD SALES

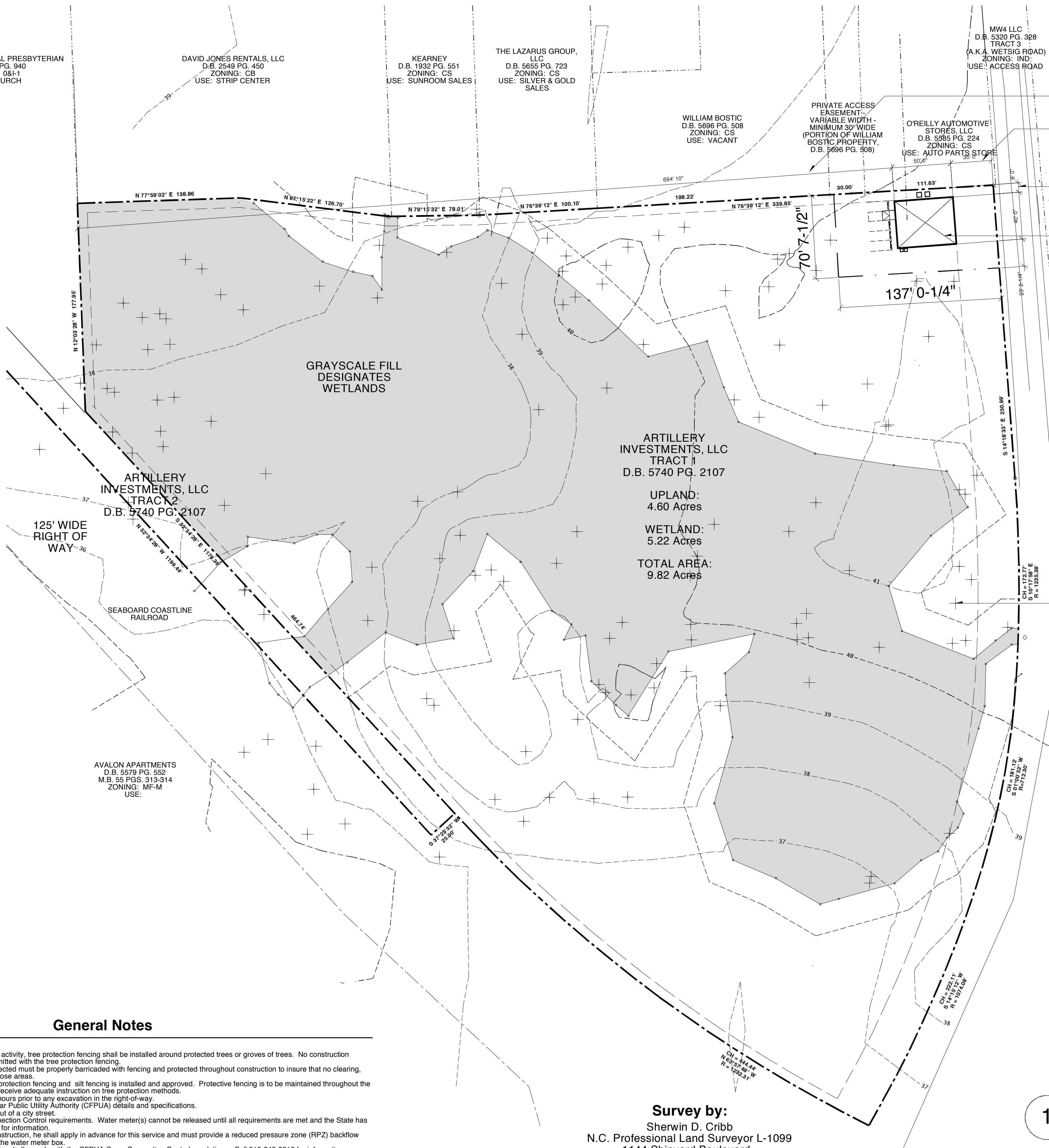
WILLIAM BOSTIC
D.B. 5696 PG. 508
ZONING: CS
USE: VACANT

PRIVATE ACCESS EASEMENT - VARIABLE WIDTH - MINIMUM 30' WIDE (PORTION OF WILLIAM BOSTIC PROPERTY, D.B. 5696 PG. 508)

O'REILLY AUTOMOTIVE STORES, LLC
D.B. 5585 PG. 224
ZONING: CS
USE: AUTO PART STORE

MW4 LLC
D.B. 5320 PG. 328
TRACT 3
(A.K.A. WETSIG ROAD)
ZONING: IND
USE: ACCESS ROAD

MARKET STREET CENTRAL, LLC
D.B. 2755 PG. 785
ZONING: RB
USE:



Elevation Datum Note:
Topographical contour elevations use NGVD datum.

Floodplain Note:
Property is not located in a special flood hazard area.

Site Inventory Note:
Existing site is undeveloped, no existing buildings, roads, utilities or similar elements on site.

8' SIDE SETBACK

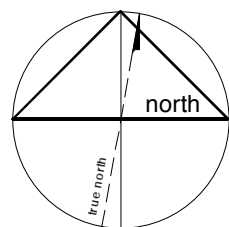
PROPOSED 50'x40' METAL BUILDING (NO EXISTING BUILDINGS ON SITE)

Fencing/Screening Note:
No fencing or screening proposed at this time.

Outdoor Use Note:
No outdoor uses proposed at this time.

Street Note:
No existing or proposed streets in the proposed developed area, no existing and platted streets on adjoining properties

CROSSHAIR SYMBOL DESIGNATES SURVEYED TREE LOCATION TYPICAL



Site Data Table

Project and Parcel Information

Project Name: Cornerstone Industrial Park
Project Address: 130 Wetsig Road, Wilmington, North Carolina
Parcel ID Number: R04913-010-005-000 and R04914-006-001-000

Zoning

Zoning District: CS

Building Setbacks	Required	Proposed
Front:	35'	35'
Rear:	15'	694'
Interior Side:	7'	8'
Corner:	35'	N/a

Parcel and Building Data

Acreage: 9.82 acres
Building Size and Area (Existing): N/A (no existing buildings on site)
Building Size and Area (Proposed): 50'x40' (2000 s.f.)

Number of Units: 1
Number of Buildings: 1
Building Height: 16'
Number of Stories: 1
Area per Floor: 2000 s.f. (for proposed 1-story building)

Building Lot Coverage

Building Lot Coverage (Existing): 0% (no existing buildings on site)
Building Lot Coverage (Proposed): 2.25%

Impervious Area, CAMA

Impervious Surface Amount and Percentage: 9636.42 s.f. (2.25%) [proposed, 0% impervious existing]
CAMA Land Use Classification: Developed

Parking Requirements

	Provided	Required	Standard
Parking	4	4	Maximum: 1 per 400 s.f. gross Minimum: 1 per 600 s.f. gross and 1 per 2000 s.f. display area Not applicable for buildings less than 5000 s.f.
Loading Spaces	0	0	

Water and Sewer Capacity

Water (Current Use): 0 GPD
Water (Proposed Use): 825 GPD
Sewer (Current Use): 0 GPD
Sewer (Proposed Use): 825 GPD

Note: Property is undeveloped, therefore no current use.

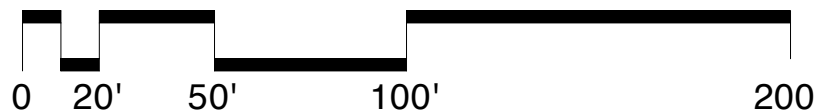
General Notes

- Prior to any clearing, grading, or construction activity, tree protection fencing shall be installed around protected trees or groves of trees. No construction workers, tools, materials, or vehicles are permitted with the tree protection fencing.
- Any trees and/or areas designated to be protected must be properly barricaded with fencing and protected throughout construction to insure that no clearing, grading or staging of materials will occur in those areas.
- No equipment is allowed on site until all tree protection fencing and silt fencing is installed and approved. Protective fencing is to be maintained throughout the duration of the project, and contractors shall receive adequate instruction on tree protection methods.
- Call Traffic Engineering at 910-341-7888 48 hours prior to any excavation in the right-of-way.
- Water and sewer service shall meet Cape Fear Public Utility Authority (CFPUA) details and specifications.
- A utility cut permit is required for each open cut of a city street.
- Project shall comply with CFPUA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and the State has given their final approval. Call 910-343-3010 for information.
- If the contractor desires CFPUA water for construction, he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
- Any irrigation system supplied by CFPUA water shall comply with the CFPUA Cross Connection Control regulations. Call 910-343-3910 for information.
- Any irrigation system shall be equipped with a rain and freeze sensor.
- Any backflow prevention devices required by the CFPUA will need to be on the list of approved devices by USFCOCHHR to ASSE.
- Contractor to field verify existing water and sewer service locations, sizes and materials prior to construction. Engineer to be notified of any conflicts.
- Contractor shall maintain all-weather access for emergency vehicles at all times during construction.

Survey by:

Sherwin D. Cribb
N.C. Professional Land Surveyor L-1099
1144 Shipyard Boulevard,
Wilmington, North Carolina 28412

1 Site Plan
Scale: 1" = 50'



Cornerstone Industrial Park

Sheet Index, Vicinity Map, Site Plan, Site Data Table, General Notes

Drawings Produced by:

Ted Trzos
57 Lee Drive
Wilmington, North Carolina 28401
910.362.1133

Drawing Issue Information:

date	description
04/11/2014 AD	For Owner's use.
06/20/2014 AD	Revisions addressing 05/02/2014 AD TRC comments.

Project Owner:
Artillery Investment, LLC
P.O. Box 6280
Ocean Isle Beach, North Carolina
28614

Project Name and Address:
Cornerstone Industrial Park
130 Wetsig Road
Wilmington, North Carolina 28403

Date: 06/20/2014 AD

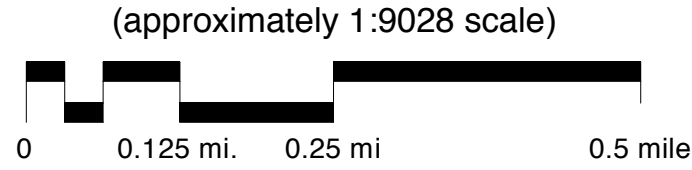
SHEET:

A-1



Vicinity Map
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GRAY FILL AND VERTICAL LINES REPRESENT REMAINING PORTION OF SITE TO REMAIN UNDISTURBED



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MARKET STREET CENTRAL LLC
D.B. 2755 PG. 785
ZONING: RB
USE:

8' SIDE SETBACK

PROPOSED 50'x40' METAL BUILDING (NO EXISTING BUILDINGS ON SITE)

Street Note:
No existing or proposed streets in the proposed developed area, no existing and platted streets on adjoining properties

CROSSHAIR SYMBOL DESIGNATES SURVEYED TREE LOCATION TYPICAL

GRAYSCALE FILL DESIGNATES WETLANDS

ARTILLERY INVESTMENTS, LLC
TRACT 2
D.B. 5740 PG. 2107

ARTILLERY INVESTMENTS, LLC
TRACT 1
D.B. 5740 PG. 2107

UPLAND:
4.60 Acres

WETLAND:
5.22 Acres

TOTAL AREA:
9.82 Acres

125' WIDE RIGHT OF WAY

SEABOARD COASTLINE RAILROAD

AVALON APARTMENTS
D.B. 5579 PG. 552
M.B. 55 PGS. 313-314
ZONING: MF-M
USE:

Legend

	PROPERTY LINE
	SETBACK LINE
	OTHER SURVEYED LINE
	MAJOR TOPOGRAPHY LINE (10' INTERVAL)
	MINOR TOPOGRAPHY LINE (1' INTERVAL)
	DIRECTIONAL FLOW ARROW (BAR IS HIGH POINT, POINTS DOWNHILL) - ALL STORMWATER CONVEYENCE BY SHEET FLOW ACROSS EXISTING GRADE
	STORMWATER COLLECTION BY NATURAL WETLANDS

General Notes

These notes address points on the City of Wilmington document "Drainage Plan Requirements" as organized by the three sections in that document.

Minimum Requirements

- Sheet flow of stormwater follows natural downhill grade to existing pond, only fine grading of limited areas immediately around building to be performed.
- Existing natural pond is at least 10' behind all property lines except where the pond crosses over to the adjacent property to the west.
- No modifications to existing natural pond are proposed.
- No new underground pipes used to convey stormwater are proposed for this project

Site Plan Information

- No existing structures, roads, buildings, or paved areas are on the site.
- No existing stormwater management system components are on the site.
- No connection to existing stormwater management systems are proposed.

Calculations

- No piping is used for this project, therefore calculations for pipe sizing are not applicable.

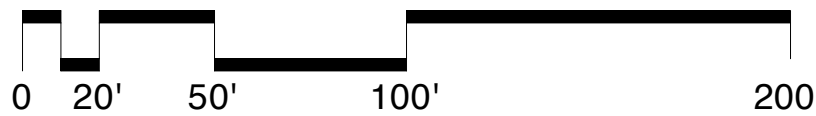
Survey by:

Sherwin D. Cribb
N.C. Professional Land Surveyor L-1099
1144 Shipyard Boulevard,
Wilmington, North Carolina 28412

1

Drainage Plan

Scale: 1" = 50'



Cornerstone Industrial Park

Sheet Index, Vicinity Map, General Notes, Drainage Plan, Legend

Drawings Produced by:
Ted Trzos
57 Lee Drive
Wilmington, North Carolina 28401
910.362.1133

Drawing Issue Information:

date	description
04/25/2014 AD	For Owner's use.
06/20/2014 AD	Revisions addressing 05/02/2014 AD TRC comments.

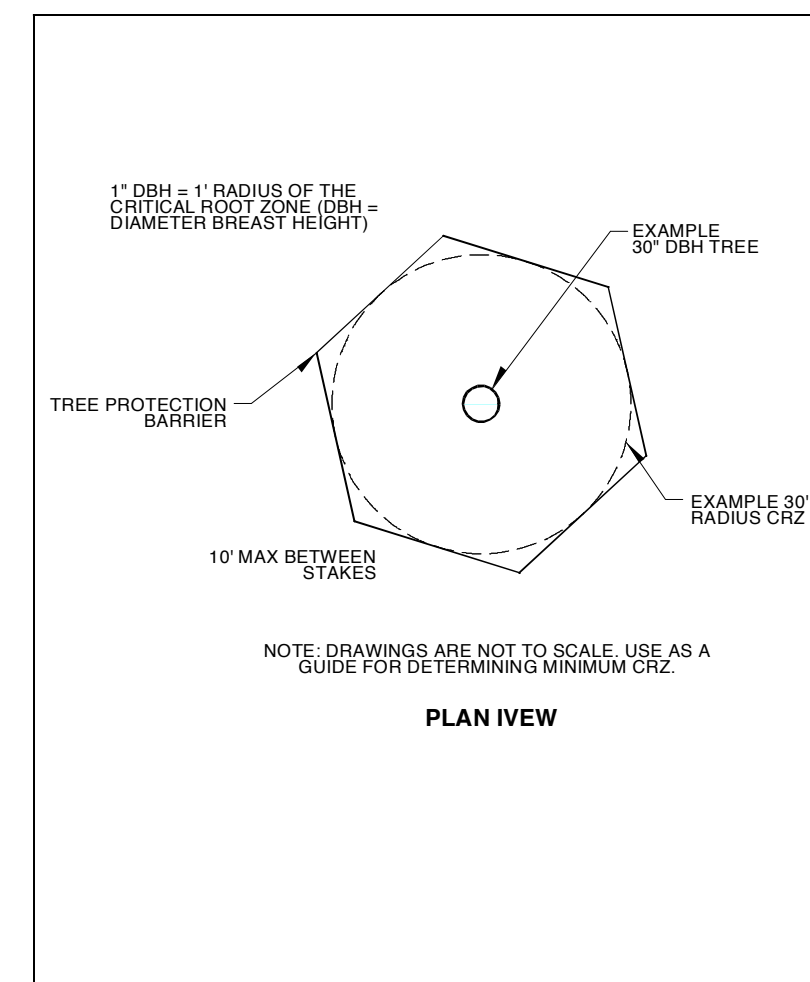
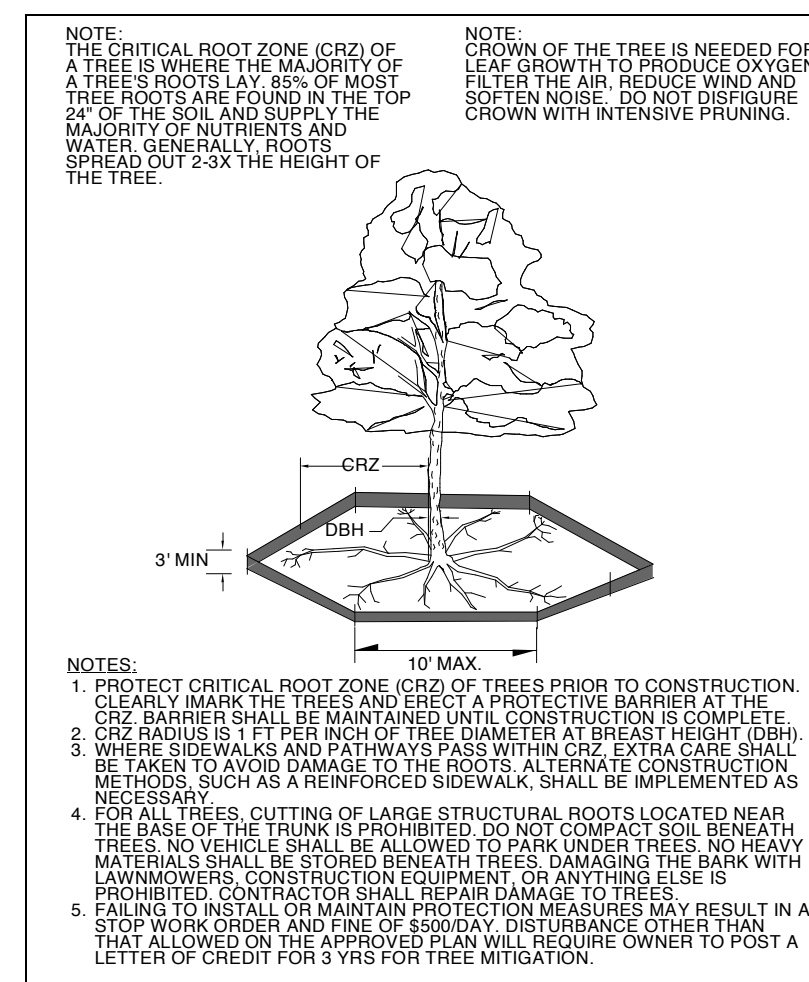
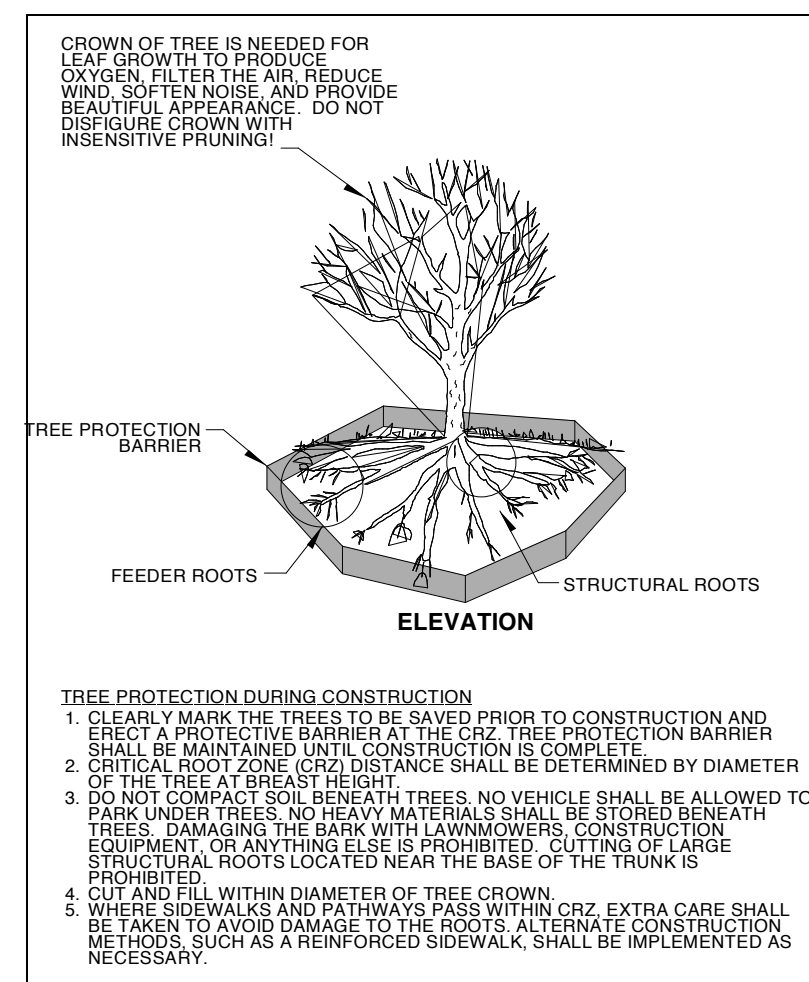
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Project Name and Address:
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130 Wetsig Road
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Date: 06/20/2014 AD

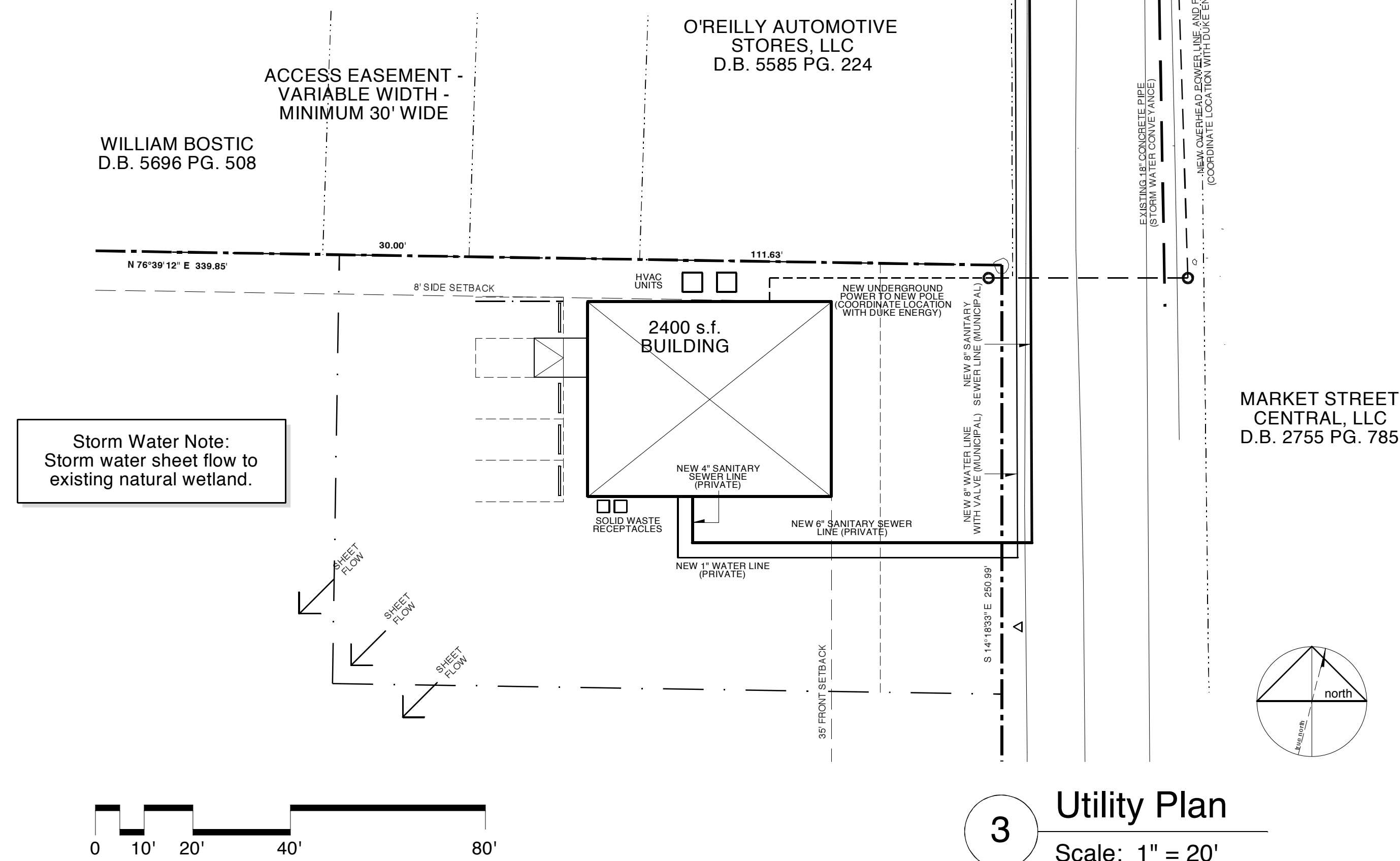
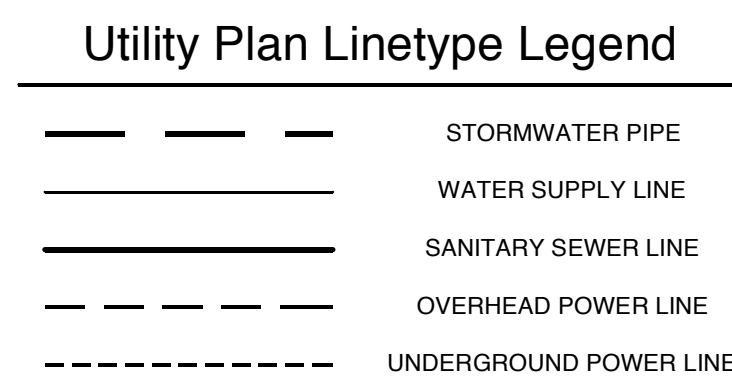
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A-2



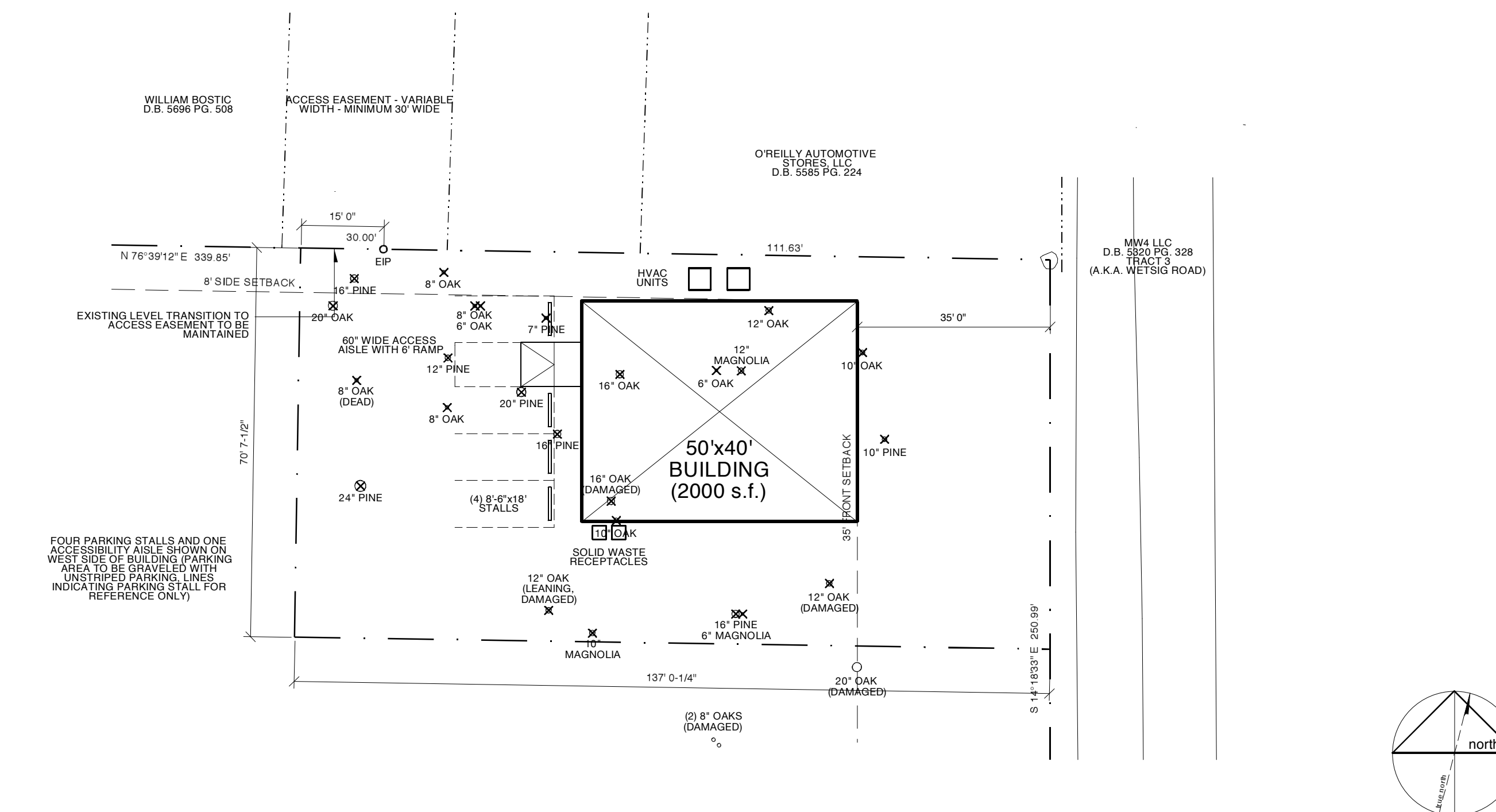
2 Tree Protection Details

Scale: Not to Scale



Traffic Engineering Notes

1. No existing or proposed sidewalks.
2. No proposed streets.
3. No proposed medians, median openings, or curbs.
4. No proposed sight triangles not applicable (straight connection to access easement, no intersection.)
5. No proposed right-of-way closures.
6. No proposed private streets.
7. No proposed wheel stops or other traffic barriers.
8. No proposed loading or unloading areas.
9. No off site parking.
10. No existing driveways, therefore no driveway closures.
11. Three existing street intersections within 500' of site: Barkley Hills Drive and Market Street, access easement (on adjacent property) and Market Street, and Wetsig Road and Market Street.
12. No required turn lanes.
13. No existing or proposed traffic control devices.
14. Pedestrian access to site via access easement across property to north.
15. No existing or proposed pedestrian crossings.
16. No NCDOT driveway permit required.



1 Tree Removal Plan

Scale: 1" = 20'

Drawings Produced by:
Ted Trzos
57 Lee Drive
Fayetteville, North Carolina 28401
910.362.1133

Drawing Issue Information:

date	description
04/11/2014 AD	For Owner's use.
06/20/2014 AD	Revisions addressing 05/02/2014 AD TRC comments.

Cornerstone Industrial Park

Project Owner:
Artillery Investment, LLC
P.O. Box 6280
Ocean Isle Beach, North Carolina
28614

Project Name and Address:
Cornerstone Industrial Park
130 Wetsig Road
Wilmington, North Carolina 28403

Date: 06/20/2014 AD

SHEET:

A-3